



AGENDA
ARCHITECTURAL REVIEW BOARD MEETING
VILLAGE HALL
4128 HUBERTUS ROAD, HUBERTUS, WISCONSIN
SEPTEMBER 16, 2020
6:00 P.M.

Pursuant to the requirements of Section 19.84, Wis. Stats., notice is hereby given of a meeting of the Village of Richfield Architectural Review Board, at which a quorum of the Village Board may attend in order to gather information about a subject which they have decision making responsibility. The meeting will be held at the above noted date, time and location. Notice of Village Board Quorum (Chairperson to announce the following if a quorum of the Village Board is an attendance at the meeting: "Please let the minutes reflect that a quorum of the Village Board is present and that the Village Board members may be making comments under the Public Comments section of the agenda, during Public Hearings, or if the rules are suspended to allow them to do so.")

1. Call to Order/ Roll Call
2. Verification of Open Meetings Law compliance
3. Pledge of Allegiance
4. DISCUSSION/ACTION
 - a. Discussion and possible recommendation to the Plan Commission regarding a petitioned design modification for Pleasant Hill Bar and Grill, located at 2102 STH 164 (Tax Key: V10_008200Z) – *Pleasant Hill Management LLC, Petitioner*
 - b. Discussion and possible recommendation to the Plan Commission regarding a building expansion and construction of an accessory structure for Flynn's Richfield Pub, located at 640 Plat Road (Tax Key: V10_119600Z) – *Richfield Management LLC, Petitioner*

5. ADJOURNMENT

Additional explanation of items on the agenda (Communication Forms) can be found on the village's website at www.richfieldwi.gov. Notification of this meeting has been posted in accordance with the Open Meeting Laws of the State of Wisconsin. It is possible that members of and possibly a quorum of members of other governmental bodies of the municipality may be in attendance at the above stated meeting to gather information; no action will be taken by any governmental body at the above stated meeting other than the governmental body specifically referred to above in this notice.

Requests from persons with disabilities who need assistance to participate in this meeting or hearing should be made to the Village Clerk's office at 628-2260 or www.richfieldwi.gov with as much advanced notice as possible.

4a



VILLAGE OF RICHFIELD

ARCHITECTURAL REVIEW BOARD COMMUNICATION FORM

MEETING DATE: September 16, 2020

SUBJECT: Pleasant Hill Pub and Grill (Northern Portion) – 2102 STH 164 (Tax Key: V10_008200Z)
DATE SUBMITTED: September 11, 2020
SUBMITTED BY: Jim Healy, Village Administrator

POLICY QUESTION: DOES THE ARCHITECTURAL REVIEW BOARD WISH TO RECOMMEND TO THE PLAN COMMISSION THE APPROVAL OF THE PROPOSED DESIGN MODIFICATION?

ISSUE SUMMARY:

The property owner is proposing a different color scheme for the previously approved building expansion of Pleasant Hill Pub and Grill and he is also proposing to add a brick façade to the east and west sides of the property to bring more visual intrigue to the property. The proposed color modifications may help visually break-up the building and as a Staff it seems unobjectionable. Additionally, the stone that is being proposed is a cultured stone called the “Del Mare LedgeStone” and the tone of the material is “Black Isle”. A sample board of the product has been received from the property owner and will be available the night of the Architectural Review Board meeting. No other aspects of the previously approved building design elevations are proposed to be changed. While these changes may be considered “minor” in the grand scheme of things, Village Staff did not feel comfortable approving them without your consent.





VILLAGE OF RICHFIELD

ARCHITECTURAL REVIEW BOARD COMMUNICATION FORM

MEETING DATE: September 16, 2020

SUBJECT: Pleasant Hill Pub and Grill (Northern Portion) – 2102 STH 164 (Tax Key: V10_008200Z)
DATE SUBMITTED: September 11, 2020
SUBMITTED BY: Jim Healy, Village Administrator



FUTURE IMPACT AND ANALYSIS:

Forward to Plan Commission: Yes
Additional Approvals Needed: Yes

REVIEWED BY:

Doreen Kline
Village Deputy Treasurer

ATTACHMENTS:

N/A



VILLAGE OF RICHFIELD

ARCHITECTURAL REVIEW BOARD COMMUNICATION FORM

MEETING DATE: September 16, 2020

SUBJECT: Pleasant Hill Pub and Grill (Northern Portion) – 2102 STH 164 (Tax Key: V10_008200Z)
DATE SUBMITTED: September 11, 2020
SUBMITTED BY: Jim Healy, Village Administrator

STAFF RECOMMENDATION:

Motion to recommend approval to the Plan Commission for the proposed design elevations for Pleasant Hill Pub and Grill located at 2102 STH 164 (Tax Key: V10_008200Z), as designed.

APPROVED FOR SUBMITTAL BY:


Village Staff Member


Village Administrator

VILLAGE CLERK USE ONLY
BOARD ACTION TAKEN

Resolution No. _____
Ordinance No. _____
Approved _____
Other _____

Continued To: _____
Referred To: _____
Denied _____
File No. _____

4b



VILLAGE OF RICHFIELD

ARCHITECTURAL REVIEW BOARD COMMUNICATION FORM

MEETING DATE: September 16, 2020

SUBJECT: Flynn's Richfield – 640 Plat Road (Tax Key: V10_119600Z)

DATE SUBMITTED: September 11, 2020

SUBMITTED BY: Jim Healy, Village Administrator

POLICY QUESTION: DOES THE ARCHITECTURAL REVIEW BOARD WISH TO RECOMMEND TO THE PLAN COMMISSION THE APPROVAL OF THE PROPOSED BUILDING EXPANSION?

ISSUE SUMMARY:

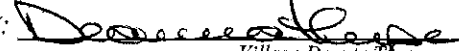
The property owner is proposing a two-story expansion of his tavern to the east as well as the construction of an accessory structure for the storage of goods/materials related to his business operations at Flynn's Richfield located at 640 Plat Road (Tax Key: V10_119600Z).

The proposed expansion to the primary structure is 1,053 square feet. This consists of 485sqft on the first and second floor, as well as 83sqft of basement space. On the first floor, this area will be used to provide additional storage. Right now, the second floor is utilized for administrative purposes related to the business. The addition is proposed to consist of the same LP Smartside materials used elsewhere on the building during its remodel back in 2017. The proposed building will match the existing ridgeline of the structure and true to the architectural design of the building, will remain somewhat residential in appearance. The north, south and east elevations will have one double-hung window installed. On the south elevation there will be a man door constructed as well as a service ramp for the delivery of food and beverages. Currently, on the east side of the building is a metal overhang that functions somewhat as a carport and exterior storage area. As part of this proposed expansion, that architectural projection will be removed.

The proposed garage is 1,248sqft. It will have three (3) overhead stall doors. On the south elevation, you will see that the property owner has proposed a shed roof with three (3) windows centered in the middle of the roofline. Additionally, the property owner has attempted to mimic the roof design with the "clipped" gable peak. On the east and west elevation there is also the same sized window as being proposed on the principal structure's addition. Materials for this building are also the same LP Smartside used elsewhere on the property.

At the Plan Commission meeting in 2018, the property owner razed the previously existing Walters Pole Barn that was on the property and in a state of disrepair after years of neglect. That was done to construct a parking lot expansion in the fall of 2019. At that time, the property owner conveyed to Village Staff his desire to propose a garage that is more visually appealing and constructed of materials which are compliant with our Village Code, which we believe he has done tonight.

FUTURE IMPACT AND ANALYSIS:

REVIEWED BY: 
Village Deputy Treasurer

Forward to Plan Commission: Yes

Additional Approvals Needed: Yes

ATTACHMENTS:

1. Design submittal prepared by Foundation Architects dated August 11, 2020



VILLAGE OF RICHFIELD

ARCHITECTURAL REVIEW BOARD COMMUNICATION FORM

MEETING DATE: September 16, 2020

SUBJECT: Flynn's Richfield – 640 Plat Road (Tax Key: V10_119600Z)

DATE SUBMITTED: September 11, 2020

SUBMITTED BY: Jim Healy, Village Administrator

STAFF RECOMMENDATION:

Motion to recommend approval to the Plan Commission for the proposed design elevations for Flynn's Richfield located at 640 Plat Road (Tax Key: V10_119600Z), as designed.

APPROVED FOR SUBMITTAL BY:

Village Staff Member

Village Administrator

VILLAGE CLERK USE ONLY
BOARD ACTION TAKEN

Resolution No. _____
Ordinance No. _____
Approved _____
Other _____

Continued To: _____
Referred To: _____
Denied _____
File No. _____

Drawing Sheet Index
Architectural

A001	Coversheet, Site Plan, Code Information
A100	Basement, First Floor and Second Floor Demolition Plans
A200	Basement Floor Plan, First Floor Plan
A210	Second Floor Plan, Roof Plan
A300	Basement, First and Second Floor Reflected Ceiling Plans
A400	Exterior Elevations
A500	Building Sections - Addition
A501	Building Sections - Garage

Project Location Map



foundation
architects LLC

2625 S. Greeley Street, Ste 203
Milwaukee, WI 53207

info@foundationarchitects.com
Phone (414) 403-3433

www.foundationarchitects.com

Code and Zoning Information

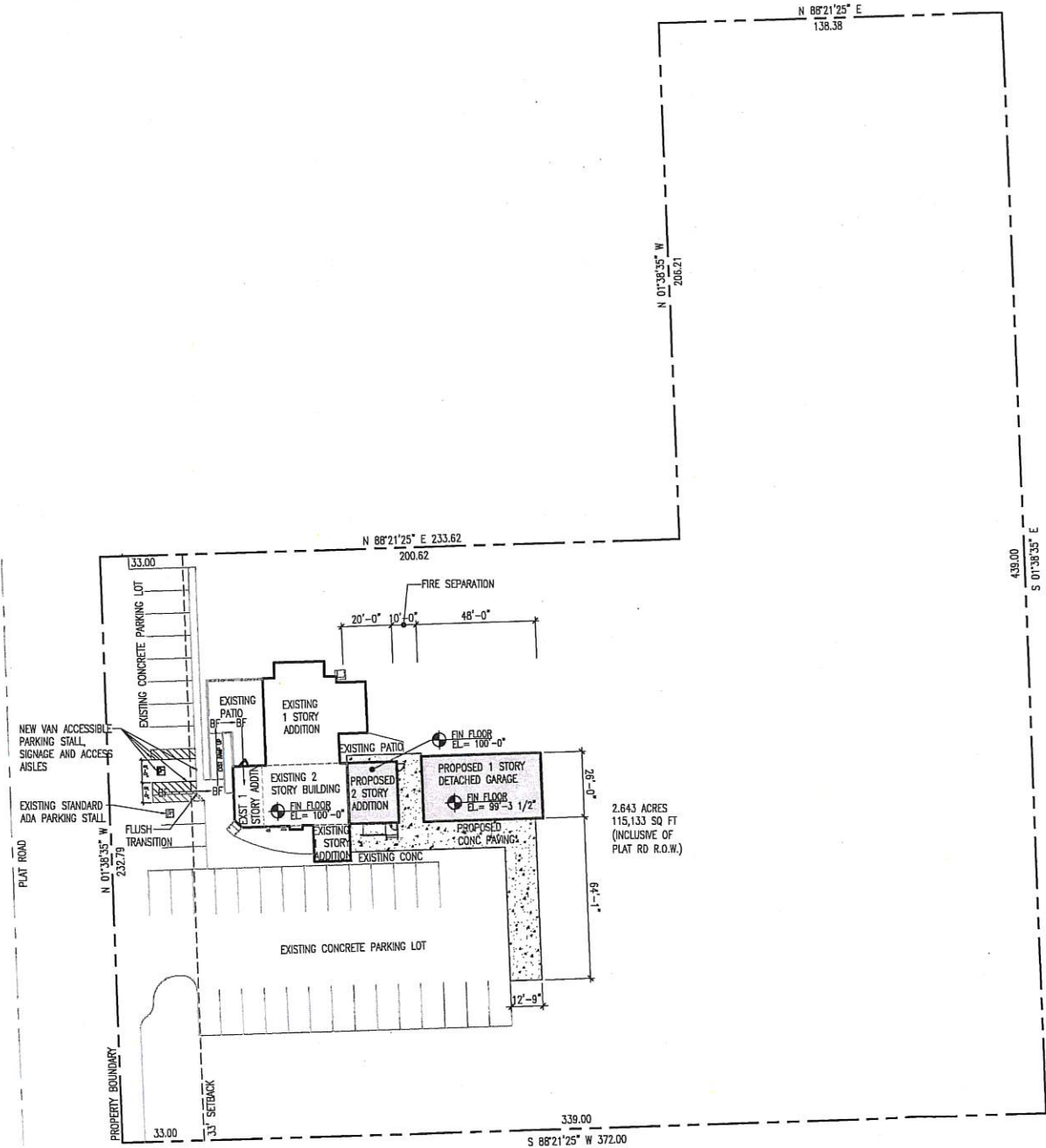
2018 Wisconsin Commercial Building Code
Tavern, Assembly Occupancy, Group A-2
Commercial Kitchen, Un-Separated use,
Storage, Un-Separated use,
Business Occupancy, Group B, Second Floor Existing Use
Zoning: B-3 General Business District, Village of Richfield ordinances
Addition Type of Construction: Type VB, Un-Sprinklered, 2 Story with Basement

Building Data:	
Existing Basement	851 sq ft
Addition Basement	83 sq ft
Existing First Floor	2,716 sq ft
Addition First Floor	485 sq ft
Existing Second Floor	832 sq ft
Addition Second Floor	485 sq ft
Addition Detached Garage	1,248 sq ft
Total	6,700 sq ft

Toilet Rooms:
No Changes to Existing Toilets.

Parking Requirements:	
Existing - Regular Parking Stalls	42
Existing - ADA Parking Stalls	1
Proposed - Regular Parking Stalls	37 (Reduction of 5 stalls)
Proposed - ADA Parking Stalls	2 (Increase of 1 stall)

ADA Access Route:
This sheet indicated with "BF" and Arrows.



PROPERTY INFORMATION:	
GROSS LAND AREA PER 2015 SURVEY	115,133 SF, 2.643 AC
BUILDINGS:	
EXISTING BASEMENT	851 SF
PROPOSED ADDITION BASEMENT	83 SF
EXISTING FIRST FLOOR	2,716 SF
PROPOSED ADDITION FIRST FLOOR	485 SF
EXISTING SECOND FLOOR	832 SF
PROPOSED ADDITION SECOND FLOOR	485 SF
PROPOSED DETACHED GARAGE	1,248 SF
TOTAL	6,700 SF
LAND COVERAGE:	
BUILDING FLOOR AREA	4,449 SF, .102 AC
LANDSCAPED OPEN AREAS	91,849 SF, 2.109 AC
IMPERVIOUS AREAS	16,835 SF, .432 AC
FLOOR AREA RATIO	.0386, 3.86%
LANDSCAPED OPEN AREA RATIO	.7978, 79.78%
IMPERVIOUS AREA RATIO	.1636, 16.36%
PARKING:	
PROPOSED REGULAR STALLS	37 STALLS
PROPOSED ADA STALLS	2 STALLS
TOTAL	39 STALLS

Project Team
Architect

Foundation Architects, LLC
Craig Eide, AIA
(414) 403-3433
craig@foundationarchitects.com

Structural Engineer

Integrated Structural Engineering, LLC
Peter Bartrik
(820) 470-3119
pete@ise-ilc.net

Fire Protection, Plumbing, HVAC and Electrical Engineer -
Design Build By Others

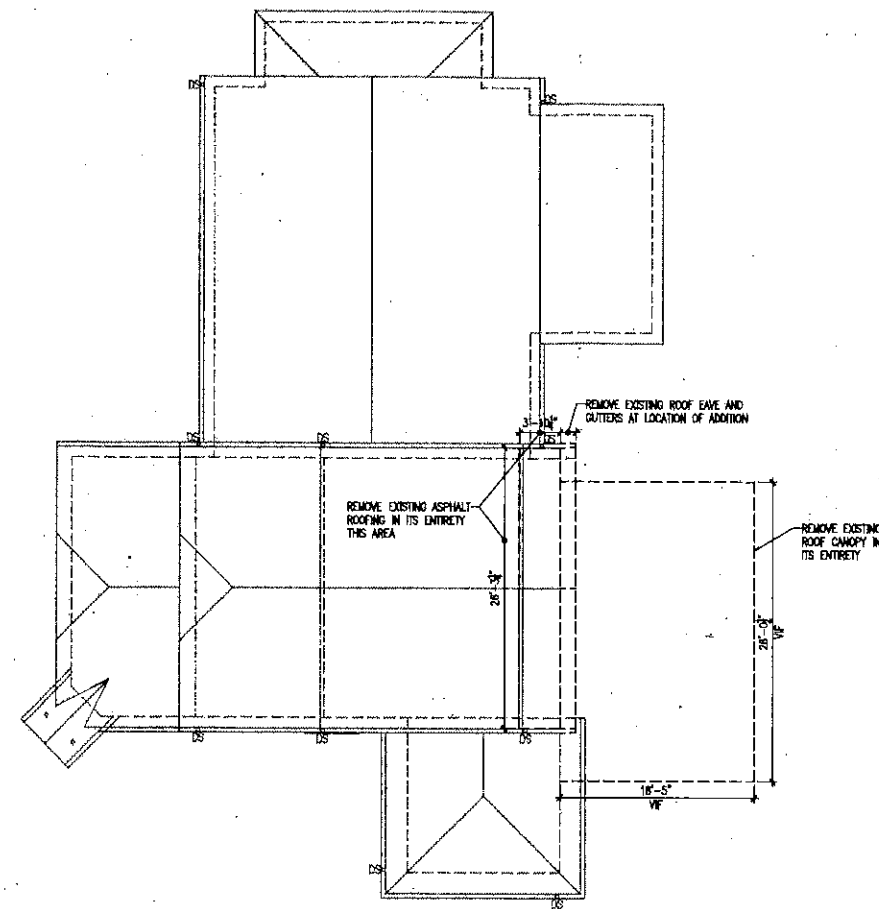
Owner

Flynn's Richfield
John Loosen
(414) 333-8770
johnloosen@aol.net

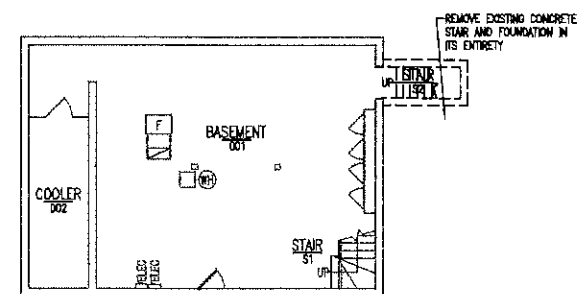
Addition
Flynn's Richfield
640 Plat Rd
Colgate, Wisconsin 53017

REVISIONS
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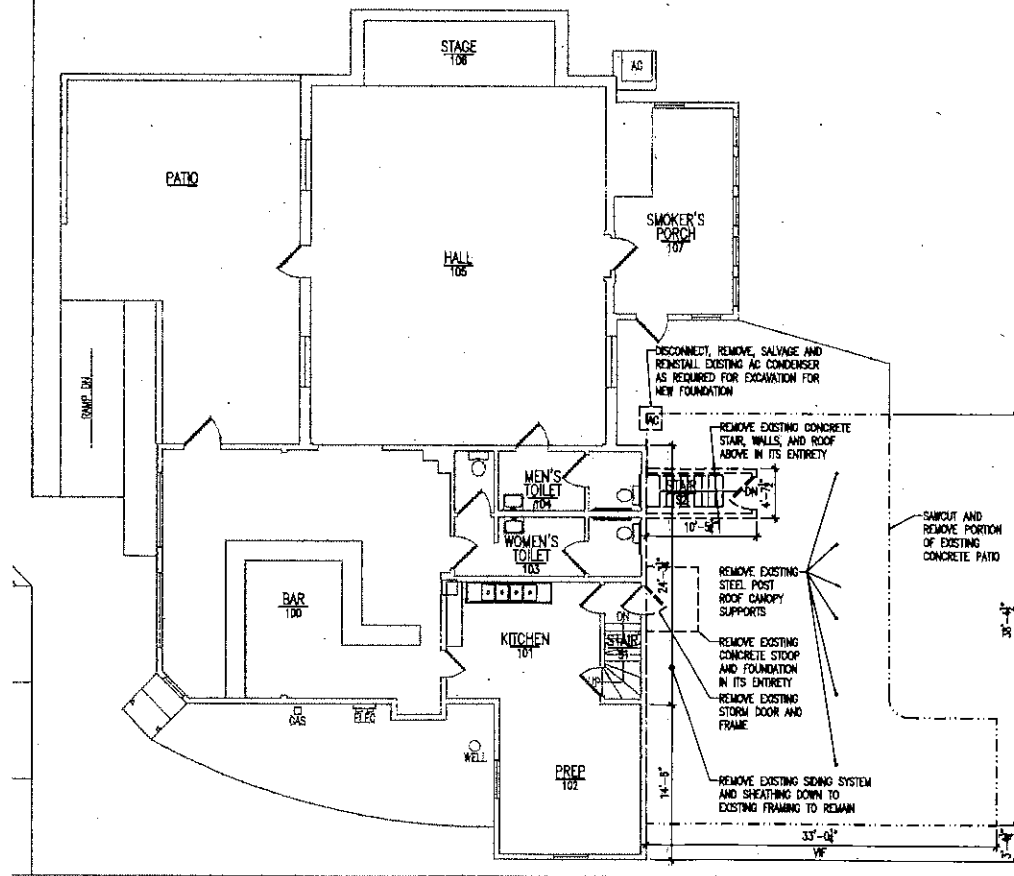
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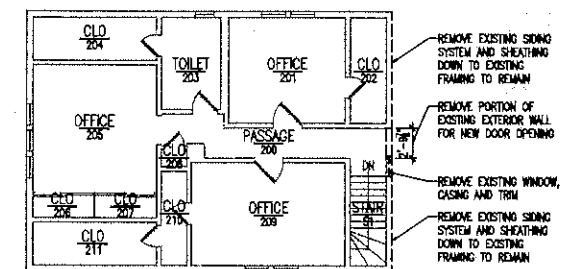
ROOF DEMOLITION PLAN



SECOND FLOOR DEMOLITION PLAN









FIRST FLOOR DEMOLITION PLAN



 BASEMENT DEMOLITION PLAN 1/8"=1'-0"

DEMOLITION PLAN - SYMBOLS LEGEND

	EXISTING WALLS TO REMAIN		EXISTING DOOR TO REMAIN
	EXISTING WALLS TO BE REMOVED		EXISTING DOOR TO BE REMOVED
	EXISTING ITEM TO REMAIN		EXISTING ITEM TO BE REMOVED
	CONSTRUCTION LIMITS		CLERESTORY GLAZING TO BE REMOVED

DEMOLITION PLAN - GENERAL NOTES

- A. VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS. VERIFY ELECTRICAL AND FIRE ALARM PANELS IN PARTITIONS SHOWN TO BE DEMOLISHED AND REDUCE PER CODE. COORDINATE WITH DESIGN BUILT PLANS.
- B. CONSTRUCT A DUST-PROOF PARTITION TO CONTAIN AREAS OF CONSTRUCTION.
- C. WHERE EXISTING PLUMBING IS REMOVED CAP PER CODE AND FIRE SEAL OR IN/FILL PENETRATION TO MATCH EXISTING CONSTRUCTION.
- D. PROVIDE DESIGN FOR LUTHERAN HALL AND ELECTRICAL PLANS FOR ADDITIONAL DEMOLITION ITEMS AND NOTES. COORDINATE WORK WITH PLUMBING, HVAC AND ELECTRICAL REQUIREMENTS.
- E. MAINTAIN CONTINUOUS UTILITY SERVICE TO ALL SPACES IN THE BUILDING NOT AFFECTED BY THIS WORK. COORDINATE WITH OWNER ANY DISRUPTION IN SERVICES REQUIRED TO PERFORM WORK OR TO MODIFY EXISTING PIPING, DUCTWORK OR ANY ASSOCIATED EQUIPMENT. RECEIVE AUTHORIZATION FROM LUTHERAN AND SHERMAN PARK LUTHERAN SCHOOL IF DISRUPTION WILL AFFECT THEIR SUMMER CLASSES.
- F. REMOVE FLOOR FINISHES, INCLUDING SETTING BED IN CERAMIC TILE AREAS, WHERE NEW FLOORING IS INDICATED.
- G. REMOVE SUSPENDED CEILINGS AND RELATED HANGERS, OR GYPSUM BOARD/ PLASTER CEILINGS WHERE NEW CEILINGS ARE INDICATED ON REFLECTED CEILING PLAN OR ROOM FINISH SCHEDULE.
- H. REMOVE ALL INTERIOR AND WALL MOUNTED ITEMS IN AREAS INDICATED TO REMOVE NEW FINISHES INCLUDING BUT NOT LIMITED TO, CABINETRY, EQUIPMENT, LOCKERS, SHELVING, HOOKSTOPS, HANDRAILS, CLOSET POLLS, MARKER AND TAP BOARDS, MIRRORS, WALL AND CEILING TRIM, BASE

DEMOLITION PLAN - KEYED NOTES ①

1. TBO



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architects LLC

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Milwaukee, WI 53207

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Phone (414) 403-3433

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CONSULTANT

PROJECT TITLE AND LOCATION

Addition
Flynn's Richfield
640 Plat Rd
Colgate, Wisconsin 53017



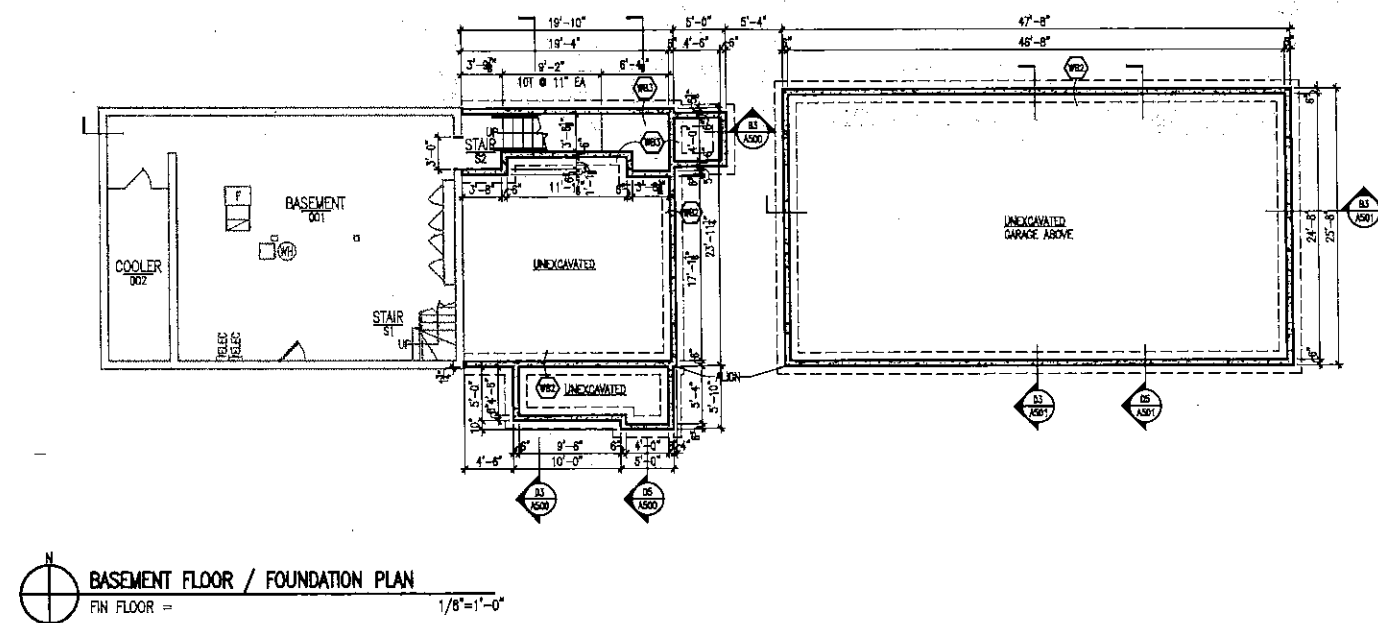
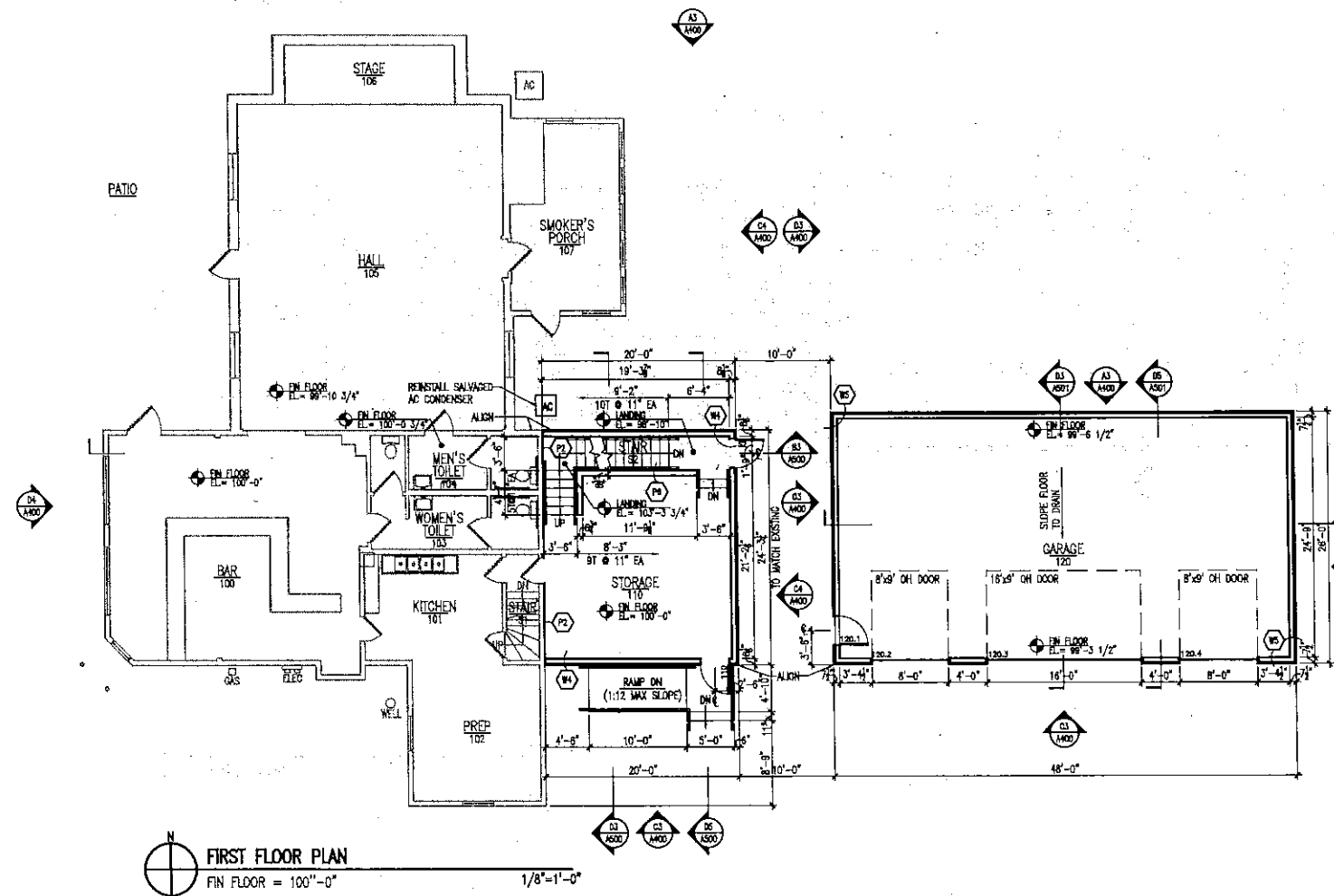
ARCHITECTURAL REVIEW BOARD SET

FOUNDATION ARCHITECTS PROJECT NUMBER
20015

DAW
08-11-2020

PROJECT TITLE
BASEMENT, FIRST FLOOR AND SECOND
FLOOR DEMOLITION PLANS

A100



FLOOR PLAN - SYMBOLS LEGEND

	NEW WALL OR PARTITION		EXISTING WALLS TO REMAIN
	NEW DOOR		EXISTING DOOR TO REMAIN
	SECTION REFERENCE		DETAIL REFERENCE
	INTERIOR ELEVATION REFERENCE		INTERIOR PARTITION P1 TYPICAL UNIT
	CONSTRUCTION LIMITS		WINDOW TYPE, REFER TO 10X/100X

FLOOR PLAN - GENERAL NOTES

- FIELD VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE.
- PROVIDE TEMPERED GLASS IN ALL DOORS AND WHERE REQUIRED BY CODE.
- EXTEND ALL NEW SOUND PARTITIONS FULL HEIGHT (BOTH SIDES) TO UNDERSIDE OF DECK ABOVE AND SEAL PERIMETER AND PENETRATIONS TO REASONABLY SAFEGUARD PRIVACY.
- REFER TO DESIGN BUILD PLUMBING, HVAC AND ELECTRICAL PLANS FOR ADDITIONAL ITEMS AND NOTES. COORDINATE WORK WITH PLUMBING, HVAC AND ELECTRICAL REQUIREMENTS.

INTERIOR PARTITION LEGEND

- PARTITION (1) LAYER 1" GYP BD ON EXISTING 2x WOOD STUDS TO REMAIN.
- SOUND PARTITION: 2x6 WOOD STUDS @ 16" O.C. W/ 3" SOUND ATTENUATION INSUL & 5/8" GYP BD EX FACE. PROVIDE SEALANT AT ALL GYP BD PERIMETERS AND PENETRATIONS TO REASONABLY SAFEGUARD PRIVACY.

EXTERIOR WALL TYPE LEGEND

- GENERAL NOTES:**
- ALL ADDITION EXTERIOR WALLS TYPE W4 UNLESS NOTED OTHERWISE.
 - ALL GARAGE EXTERIOR WALLS TYPE W5 UNLESS NOTED OTHERWISE.
 - ALL EXTERIOR WALLS (BELOW GRADE) TYPE W6 UNLESS NOTED OTHERWISE.
 - REFER TO EXTERIOR ELEVATIONS FOR LOCATIONS OF SIDING STYLE AND PATTERN CHANGES.
- EXTERIOR WALL: STUD WALL CONSISTING OF LP SMARTSIDE SIDING, 3/4" XPS CONTINUOUS INSULATION, 1/2" ZIP WALL SHEATHING SYSTEM W/ INTEGRAL WEATHER AND AIR BARRIER, 2x6 WOOD STUDS @ 16" O.C. WITH FULL THICKNESS R-20 BATT INSULATION, VAPOR BARRIER AND (1) LAYER 1" TYPE X GYPSUM BOARD AT INTERIOR FACE. REFER TO EXTERIOR ELEVATIONS FOR SIDING TYPE AND COLOR CHANGES.
 - EXTERIOR WALL: STUD WALL CONSISTING OF LP SMARTSIDE SIDING, 3/4" XPS CONTINUOUS INSULATION, 1/2" ZIP WALL SHEATHING SYSTEM W/ INTEGRAL WEATHER AND AIR BARRIER, AND 2x6 WOOD STUDS @ 16" O.C. REFER TO EXTERIOR ELEVATIONS FOR SIDING TYPE AND COLOR CHANGES.
 - EXTERIOR WALL (BELOW GRADE): REINFORCED CAST-IN-PLACE CONCRETE FOUNDATION WALL. PROVIDE 2" RIGID FOUNDATION INSULATION, EXTEND 48" VERTICALLY ON WALL AND 24" HORIZONTALLY BELOW FLOOR SLAB. EXTEND HORIZONTAL INSULATION WHERE IN-SLAB RADIANT HEATING IS PROVIDED. COORDINATE WORK WITH DESIGN BUILD HVAC. REFER TO DRAWINGS FOR WALL THICKNESSES.
 - EXTERIOR WALL (BELOW GRADE): REINFORCED CAST-IN-PLACE CONCRETE FOUNDATION WALL W/ FLUID APPLIED WATERPROOFING SYSTEM. PROVIDE 2" RIGID FOUNDATION INSULATION, EXTEND 48" VERTICALLY ON WALL AND 24" HORIZONTALLY BELOW FLOOR SLAB. EXTEND HORIZONTAL INSULATION WHERE IN-SLAB RADIANT HEATING IS PROVIDED. COORDINATE WORK WITH DESIGN BUILD HVAC.



foundation architects LLC

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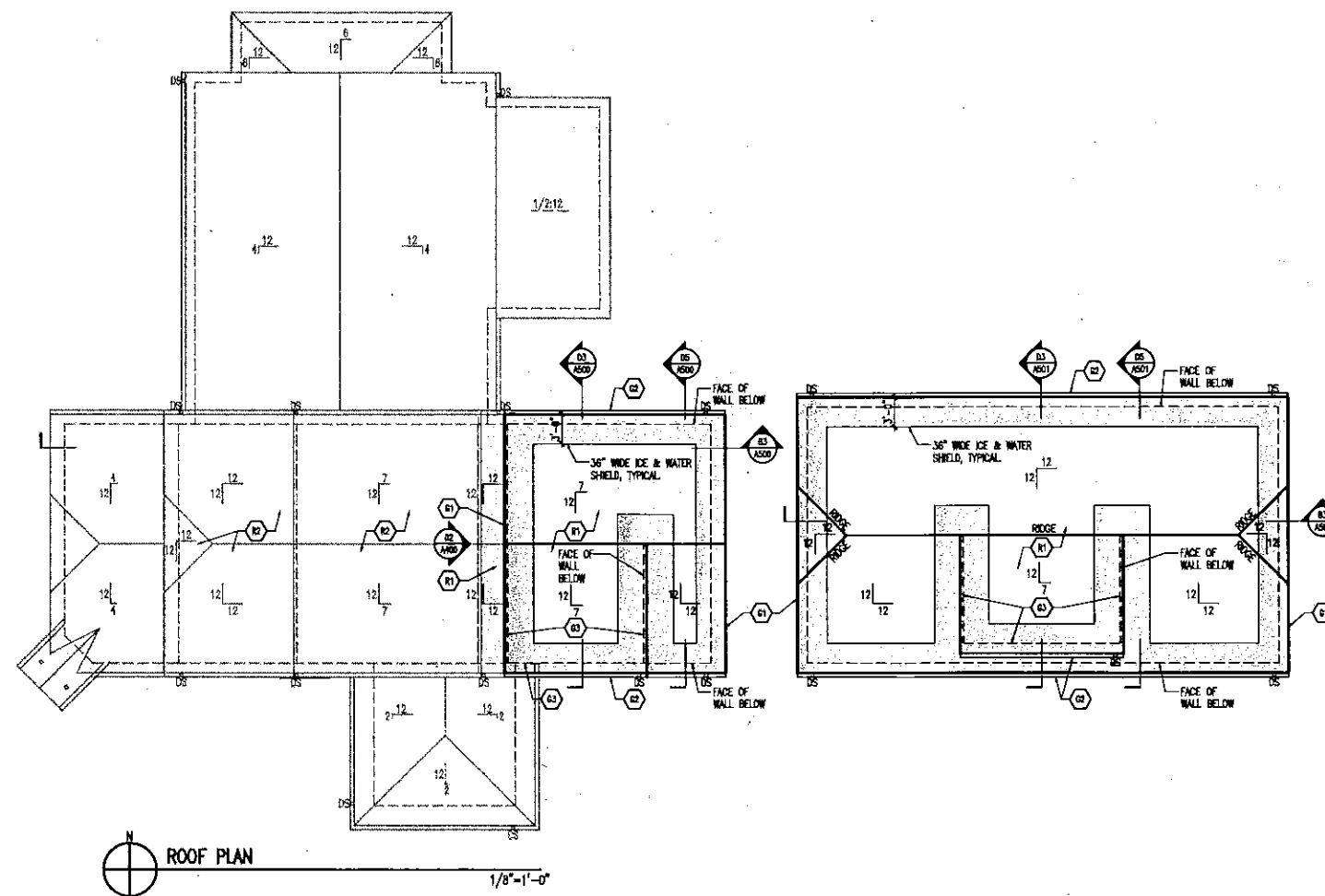
CONSULTING

PROJECT TITLE AND LOCATION

**Addition
Flynn's Richfield**
640 Plat Rd
Colgate, Wisconsin 53017

REVISION
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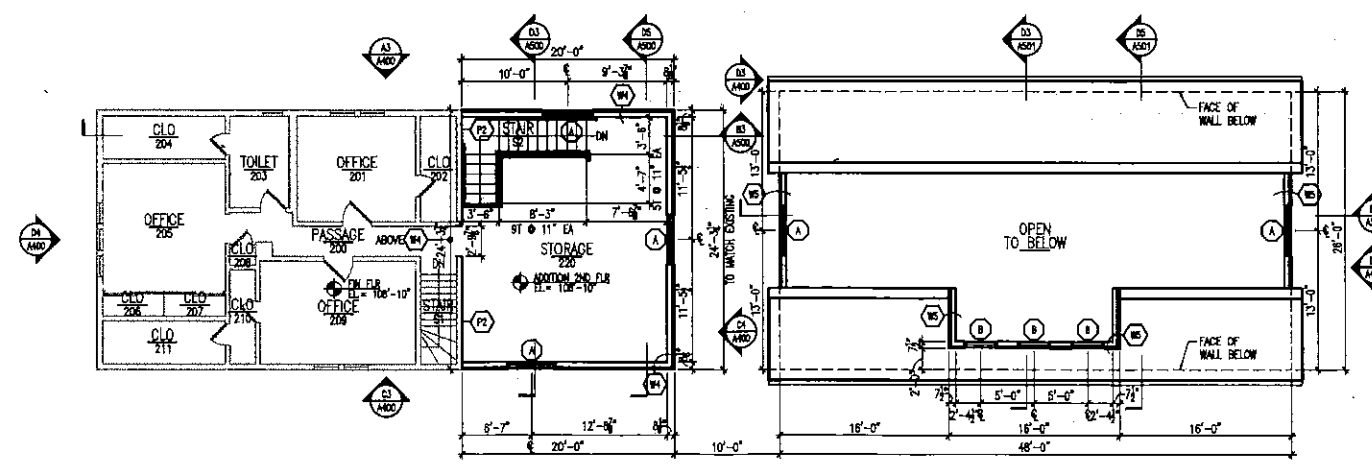


- ROOF PLAN - SYMBOLS LEGEND**
- DIRECTION OF ROOF PITCH
 - VALLEY OR RIDGE
 - EXTENT OF ICE AND WATER SHIELD
 - CONSTRUCTION LIMITS

- ROOF PLAN - GENERAL NOTES**
- COORDINATE AND VERIFY ALL ROOF OPENINGS AND PENETRATIONS WITH STRUCTURAL, PLUMBING, HVAC, AND ELECTRICAL REQUIREMENTS.
 - PROVIDE WATER TIGHT INTEGRITY AT ALL PENETRATIONS AND EQUIPMENT PER ROOFING MANUFACTURERS STANDARD DETAILS AND REQUIREMENTS FOR WARRANTY AND CURRENT MPCA STANDARDS.

- ROOF CONSTRUCTION LEGEND**
- ASPHALT SHINGLE ROOFING SYSTEM: SHINGLES, FULL UNDERLAYMENT AND ICE DAM MEMBRANE ON 1" PLYWOOD ROOF SHEATHING ON 2x WOOD ROOF STRUCTURE, REFER TO STRUCTURAL.
 - ASPHALT SHINGLE ROOFING SYSTEM OVERLAY OVER EXISTING ROOFING TO REMAIN.
 - METAL FASCIA: PREFINISHED ANODIZED ALUMINUM FASCIA ON EXTERIOR GRADE PLYWOOD, FASTEN TO STRUCTURE PER SPECIFICATION.
 - GUTTER AND DOWNSPOUT: PAINTED METAL SEAMLESS GUTTER FORMED IN THE "F" STYLE SHAPE WITH 5" CONDUCTORS AS LOCATED ON DRAWINGS. PROVIDE CONCRETE SPLASH BLOCK, AS SPECIFIED, AT EACH CONDUCTOR LOCATION. PROVIDE AND INSTALL DEBRIS SCREENS AT ENTIRE LENGTH OF EACH GUTTER.
 - METAL COUNTERFLASHING: METAL COUNTERFLASHING W/ UPTURNED LFS EXTENDED 8" MIN UP VERTICAL FACE OF WALL SHEATHING BENEATH SIDING AND BUILDING WRAP.

ROOF PLAN
1/8"=1'-0"



- FLOOR PLAN - SYMBOLS LEGEND**
- NEW WALL OR PARTITION
 - EXISTING WALLS TO REMAIN
 - NEW DOOR
 - EXISTING DOOR TO REMAIN
 - SECTION REFERENCE
 - DETAIL REFERENCE
 - INTERIOR ELEVATION REFERENCE
 - INTERIOR PARTITION P1 TYPICAL UNO
 - CONSTRUCTION LIMITS
 - WINDOW TYPE, REFER TO XX/A00X

- FLOOR PLAN - GENERAL NOTES**
- FIELD VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE.
 - PROVIDE TEMPERED GLASS IN ALL DOORS AND WHERE REQUIRED BY CODE.
 - EXTEND ALL NEW SOUND PARTITIONS FULL HEIGHT (BOTH SIDES) TO UNDERSIDE OF DECK ABOVE AND SEAL PERIMETER AND PENETRATIONS TO REASONABLY SAFEGUARD PRIVACY.
 - REFER TO DESIGN BUILD PLUMBING, HVAC AND ELECTRICAL PLANS FOR ADDITIONAL ITEMS AND NOTES. COORDINATE WORK WITH PLUMBING, HVAC AND ELECTRICAL REQUIREMENTS.

- INTERIOR PARTITION LEGEND**
- PARTITION: (1) LAYER 1/2" GYP BD ON EXISTING 2x WOOD STUDS TO REMAIN.
 - SOUND PARTITION: 2x6 WOOD STUDS @ 16" O.C. W/ 3" SOUND ATTENUATION INSUL & 5/8" GYP BD EA FACE. PROVIDE SEALANT AT ALL GYP BD PERIMETERS AND PENETRATIONS TO REASONABLY SAFEGUARD PRIVACY.

- EXTERIOR WALL TYPE LEGEND**
- GENERAL NOTES:**
- ALL ADDITION EXTERIOR WALLS TYPE W4 UNLESS NOTED OTHERWISE.
 - ALL GARAGE EXTERIOR WALLS TYPE W5 UNLESS NOTED OTHERWISE.
 - ALL EXTERIOR WALLS (BELOW GRADE) TYPE W62 UNLESS NOTED OTHERWISE.
 - REFER TO EXTERIOR ELEVATIONS FOR LOCATIONS OF SIDING STYLE AND PATTERN CHANGES.
- EXTERIOR WALL: STUD WALL CONSISTING OF 1P SMARTSIDE SIDING, 3/4" XPS CONTINUOUS INSULATION, 1/2" ZIP WALL SHEATHING SYSTEM W/ INTEGRAL WEATHER AND AIR BARRIER, 2x6 WOOD STUDS @ 16" O.C. WITH FULL THICKNESS R-20 BATT INSULATION, VAPOR RETARDER AND (1) LAYER 1/2" TYPE X GYPSUM BOARD AT INTERIOR FACE. REFER TO EXTERIOR ELEVATIONS FOR SIDING TYPE AND COLOR CHANGES.
 - EXTERIOR WALL: STUD WALL CONSISTING OF 1P SMARTSIDE SIDING, 3/4" XPS CONTINUOUS INSULATION, 1/2" ZIP WALL SHEATHING SYSTEM W/ INTEGRAL WEATHER AND AIR BARRIER, AND 2x6 WOOD STUDS @ 16" O.C. REFER TO EXTERIOR ELEVATIONS FOR SIDING TYPE AND COLOR CHANGES.

SECOND FLOOR PLAN
FIN FLOOR =
1/8"=1'-0"

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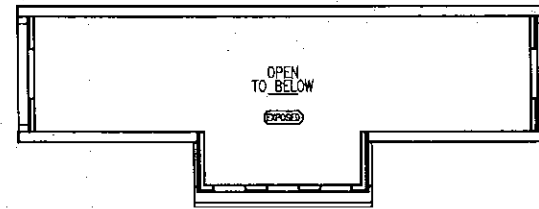
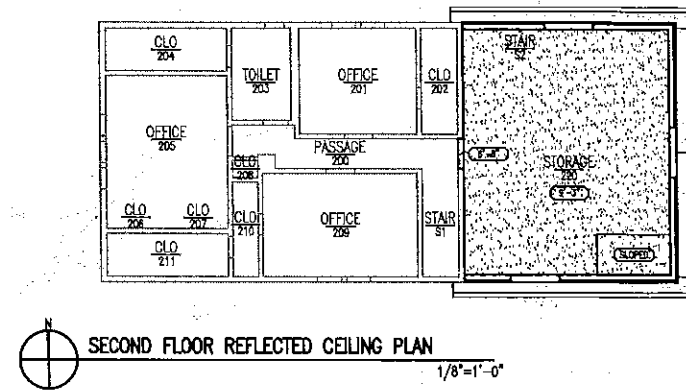
Addition
Flynn's Richfield
640 Plat Rd
Colgate, Wisconsin 53017

REVISIONS

DATE: 06-11-2020

PROJECT NAME: SECOND FLOOR PLAN

SHEET NUMBER: A210

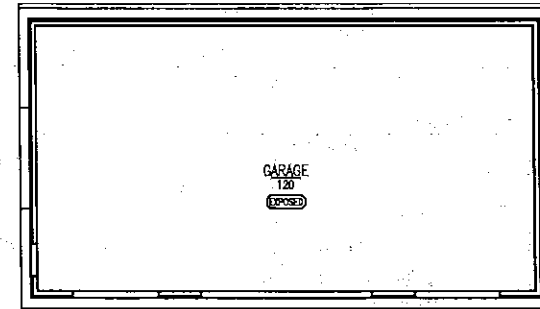
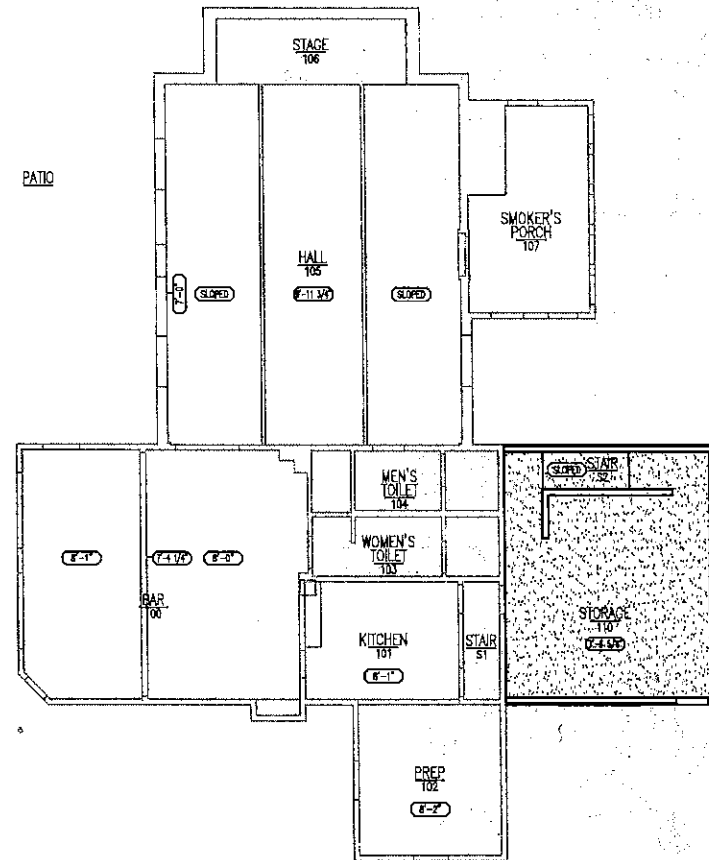


CEILING PLAN - SYMBOLS LEGEND

	GYPSUM BOARD CEILING OR BULHEAD		RECESSED DOWN LIGHT
	CONSTRUCTION LIMITS		CEILING HEIGHT

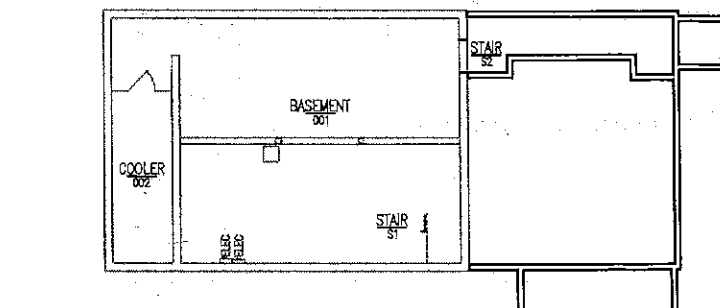
CEILING PLAN - GENERAL NOTES

- LIGHTING DESIGN BUILD BY OTHERS. LIGHTING SHOWN DIAGRAMMATICALLY FOR SCOPE PURPOSES ONLY.
- DESIGN BUILD HAVG TO PROVIDE ACCESS PANELS TO OWNER FOR AREAS WHERE NEW OR ALTERED GYPSUM CEILINGS ARE SHOWN TO PROVIDE ACCESS TO HVAC EQUIPMENT WHERE REQUIRED.



SECOND FLOOR REFLECTED CEILING PLAN
1/8"=1'-0"

FIRST FLOOR REFLECTED CEILING PLAN
1/8"=1'-0"



BASEMENT REFLECTED CEILING PLAN
1/8"=1'-0"

foundation architects LLC

2625 S. Greeley Street, Ste 203
Milwaukee, WI 53207

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Phone (414) 403-3430

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CONSULTING

PROJECT FILE INDICATOR

Addition
Flynn's Richfield
640 Plat Rd
Colgate, Wisconsin 53017

REVISIONS

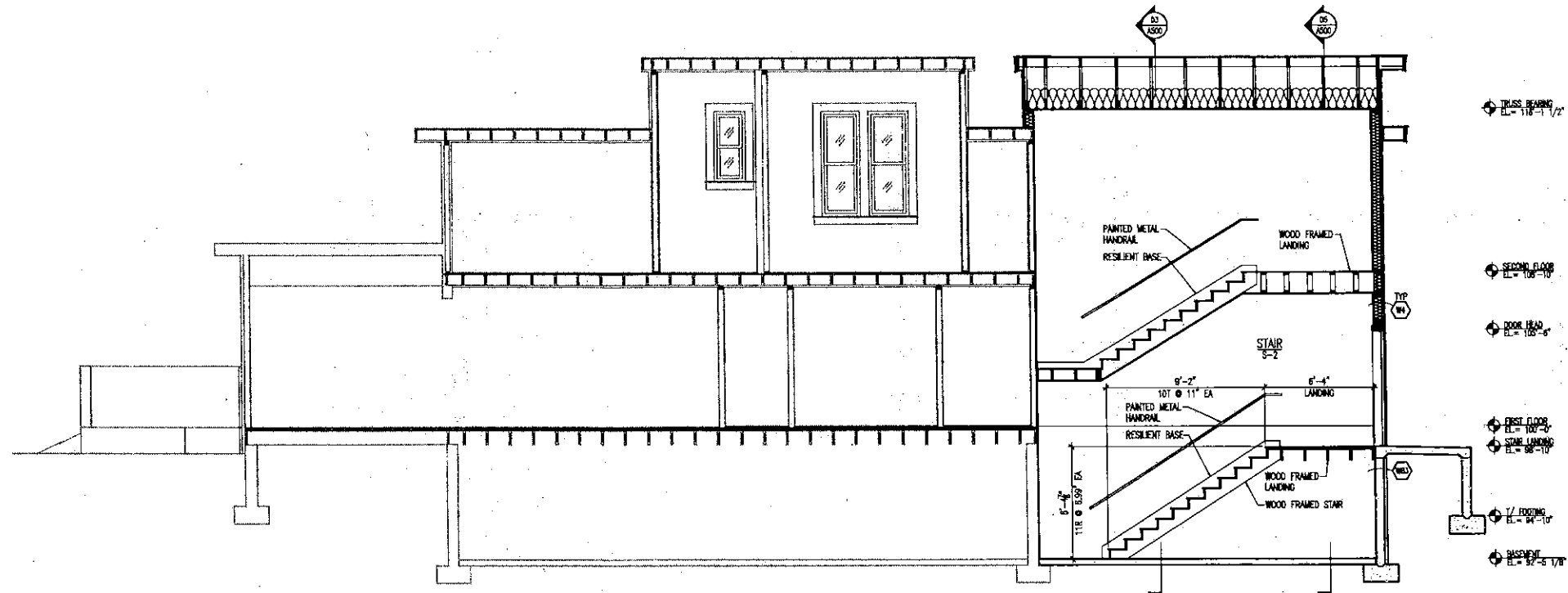
REVISED
ARCHITECTURAL REVIEW BOARD SET

FOUNDATION ARCHITECTS PROJECT ALBUM
20016

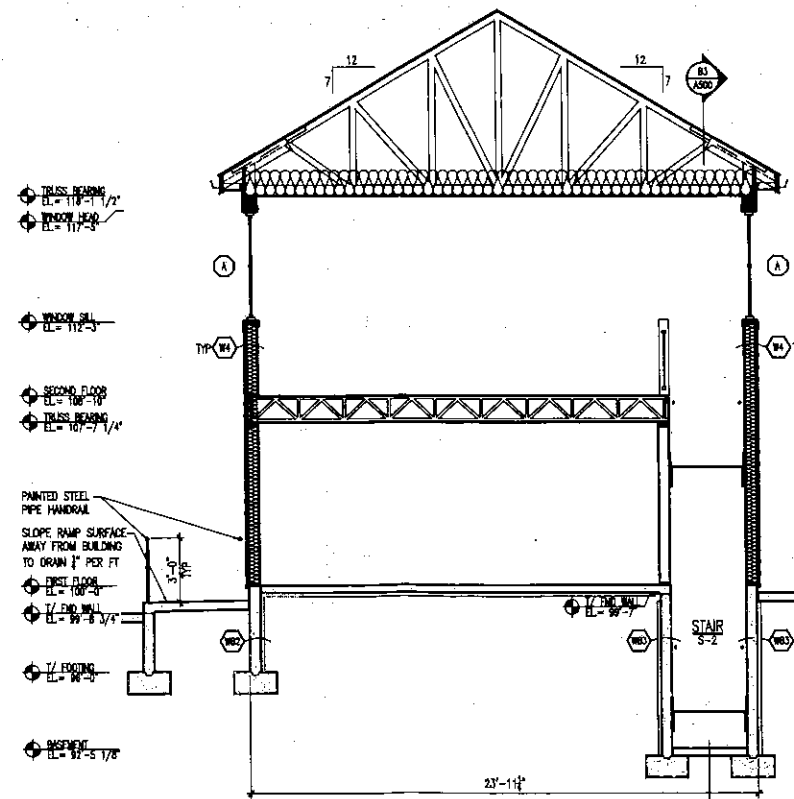
DATE
08-11-2026

PROJECT NAME
BASEMENT, FIRST AND SECOND FLOOR
REFLECTED CEILING PLANS

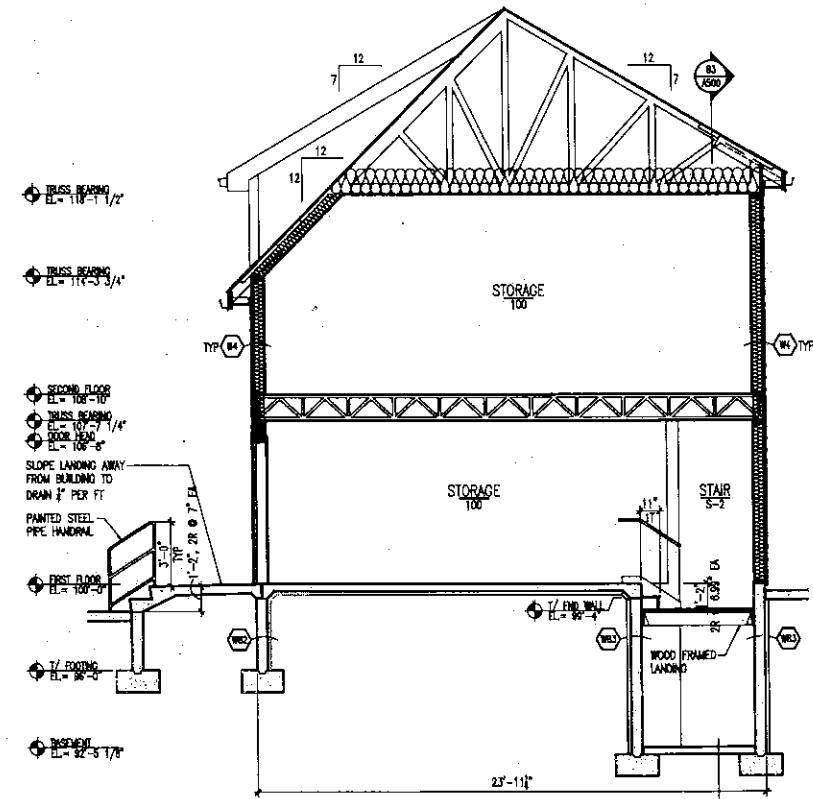
SHEET NUMBER
A300



B2
A500 BUILDING SECTION THRU EXISTING BUILDING AND ADDITION
LOOKING NORTH
1/4"=1'-0"



D3
A500 BUILDING SECTION THRU ADDITION
LOOKING WEST
1/4"=1'-0"



D5
A500 BUILDING SECTION THRU ADDITION
LOOKING WEST
1/4"=1'-0"



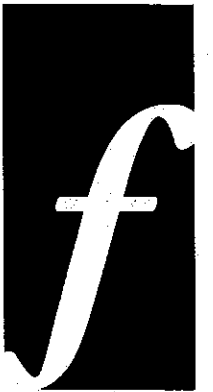
foundation architects LLC
2626 S. Greeley Street, Ste 203
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PROJECT TITLE AND LOCATION

Addition
Flynn's Richfield
640 Plat Rd
Colgate, Wisconsin 53017

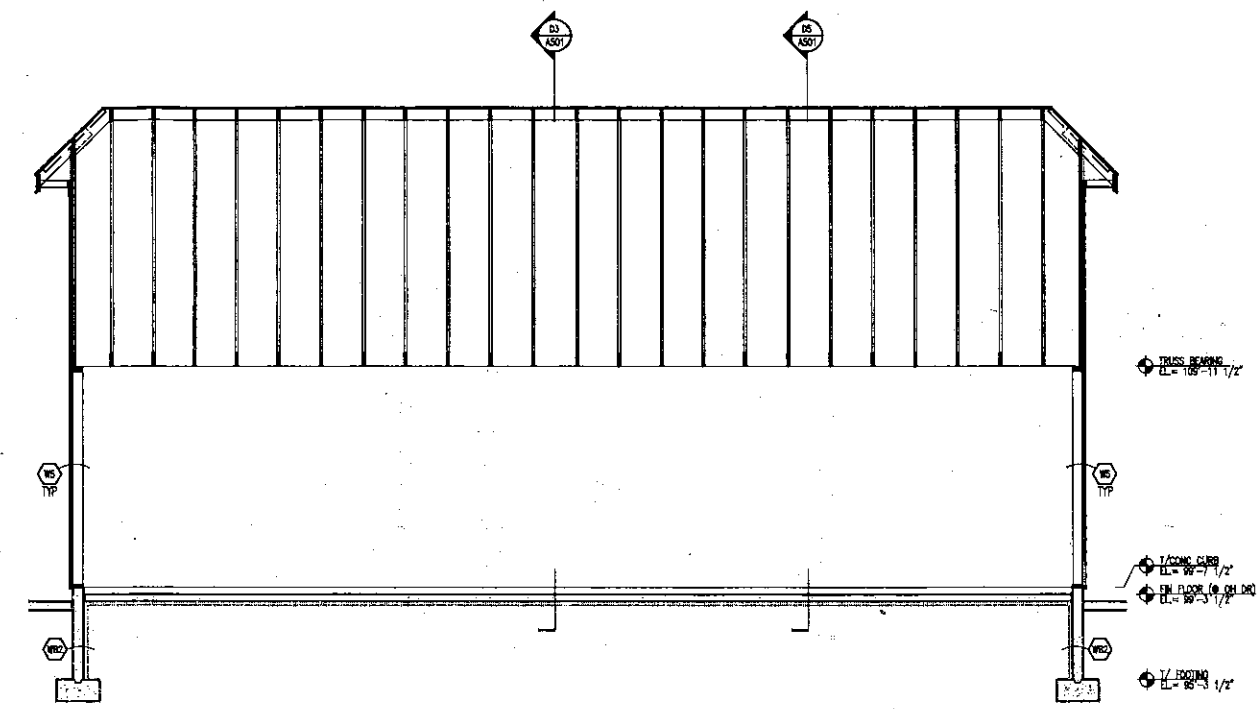
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A500



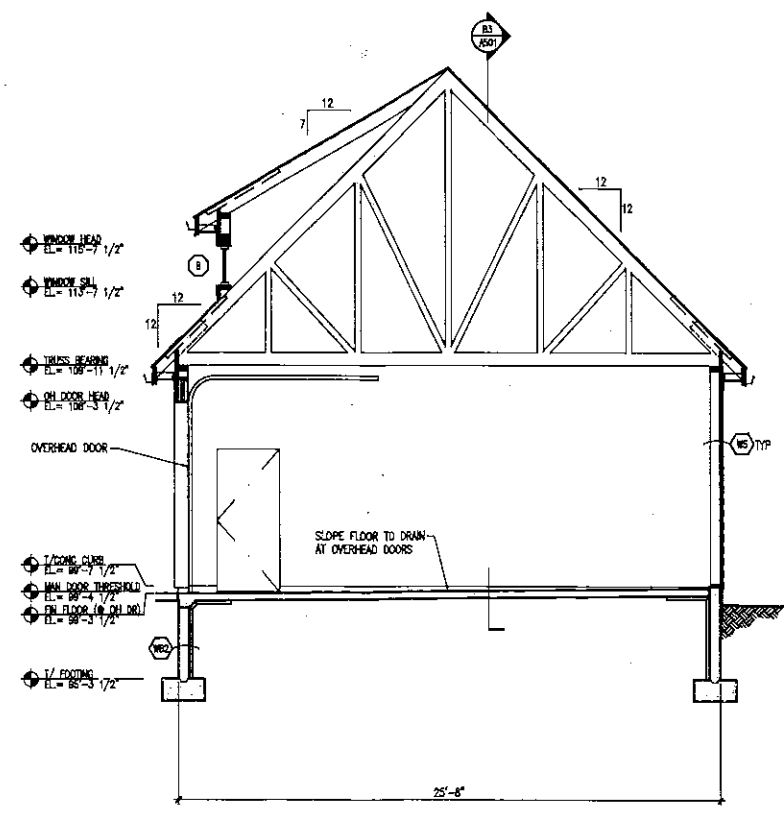
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PROJECT TITLE AND LOCATION



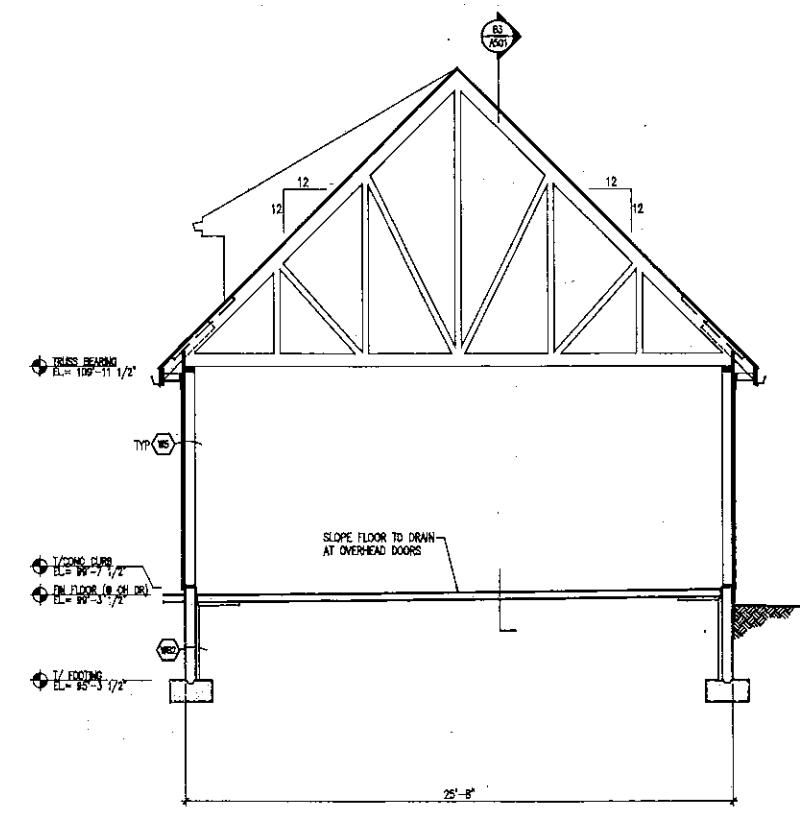
B3
A501 BUILDING SECTION THRU GARAGE ADDITION
LOOKING NORTH

1/4"=1'-0"



D3
A501 BUILDING SECTION THRU GARAGE ADDITION
LOOKING WEST

1/4"=1'-0"



B5
A501 BUILDING SECTION THRU GARAGE ADDITION
LOOKING WEST

1/4"=1'-0"

Addition
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